



Highlands East Building Department
1032 Gooderham St.
Box 22 Gooderham, ON K0M 1R0
705-447-0051

APPLICATION GUIDELINES FOR A DWELLING

Application for Permit

To obtain a permit under Subsection 8(1) of the Act, the applicant shall file an application in writing by completing a prescribed provincial application form available from the Municipality of Highlands East website or the Highlands East Building Department at 1032 Gooderham St. Gooderham.

Additional Permits

The following permits, where applicable, are required to accompany an application for building permit:

- 1) Conservation Authority Approval: To be obtained from the Crowe Valley Conservation Authority.
- 2) Entrance Permit: To be obtained from the Municipality of Highlands East Roads Department
- 3) Municipal Address (911 Number): To be obtained from County of Haliburton Road Department
- 4) Septic Approval: To be obtained from Building Department and submitted with building application
- 5) New Home Warranty registration (Tarion), Registration of Constructors and Employers (Ministry of Labour), Species at Risk (Ministry of Natural Resources) etc.
- 6) Other permits as may be required.

Required Plans

Drawings, plans and specifications to accompany an application to permit. **All drawings MUST be clear, legible, accurate, drawn to scale and conform to the Ontario Building Code.**

1) **Site Plan**

- Lot area and dimensioned property lines
- Direction north indicated
- Size and use of all existing and proposed structures including location of all structures with dimensions to property lines
- Location of septic system/well including measurements to existing and proposed structures
- Location of driveway and parking areas
- Location of easements, right-of-ways, overhead power lines, etc.

2) **Foundation Plan** (minimum scale: 3/16"=1'-0" or 1:75 (metric))

- Footings supporting walls, pilasters, columns and piers
- Foundation walls and supporting structure including construction types and material
- Building section and detail markers

3) **Floor Plans** (minimum scale: 3/16"=1'0" or 1:75 (metric))

- Exterior and interior walls including construction type and material
- Wall openings including size and supporting structure above
- Roof framing above including all proprietary layouts, details and specifications
- Building section and detail markers

- 4) **Building Elevations (minimum scale: 1/8"=1'-0" or 1:100 (metric))**
 - All building profiles showing finishes, location or openings, etc.
 - Dimensioned floor to floor and floor to ceiling heights
 - Roof pitch and finish
 - Area of exposed building face, percentage of unprotected openings and limiting distance where applicable
- 5) **Sections and Details (minimum scale: ¼"-1'-0" or 1"=50 (metric))**
 - Building section including specifications for foundations, wall, floors, roof assemblies, etc
 - Dimensioned floor to floor and floor to ceiling heights
- 6) **Engineered Elements**
 - Floor slabs shall bear the design engineer's seal and signature and shall accompany the application for permit
 - Engineered truss drawings with layout shall accompany the application for permit
 - Sealed and signed truss drawings with layout shall be submitted to the building department prior to request for framing inspection
 - Engineered floor systems including joists, beams and lintels shall include layout and member calculations and shall accompany the application for permit
 - ICF (Insulated Concrete Forms) walls to include manufacturer's details and specifications and shall accompany the application for permit
- 7) **Heating, Ventilating and Air Conditioning**
 - For building intended for use in the winter months, ventilation specifications and heat loss calculations with layout shall accompany the application for permit
- 8) **Energy Efficiency Design Summary (to be completed - included in application package)**

General Notes:

- 1) The permit application shall include 2 complete sets of fully dimensioned construction drawings. A non-refundable application fee of \$75.00 shall accompany the application for permit
- 2) All drawings and specifications are to be project specific.
- 3) Refer to our zoning by-law, available on our web site (www.highlandseast.ca) for setback information, restrictions to location, size, height, etc.
- 4) All drawings are to be drawn to scale. The scale shall be noted on the drawings.
- 5) **DO NOT** include presentation graphics (furniture, etc.) on construction drawings.
- 6) Where the proposed deck is to be constructed within 1 metre of a required setback or survey monuments are not visible, verification of setback **MUST** be provided by an Ontario Land Surveyor prior to footing inspection.

As the property owner you are required to ensure all inspections are complete and any deficiencies corrected if necessary.

7) Required Inspections:

- Footing: After excavation and installation of formwork, prior to placement of concrete,
- ICF Reinforcing
- Backfill: After completion of the foundation systems, prior to backfilling foundation,
- Framing: After framing is complete, prior to installation of insulation and cladding,
- Rough-in: After HVAC and plumbing rough-ins complete – plumbing under test,
- Insulation: After insulation and vapour barrier complete, prior to covering,
- Occupancy: After completion of construction and installation of components required to permit occupancy, **PRIOR TO USE - NO BUILDING CAN BE OCCUPIED OR USED UNTIL AN OCCUPANCY PERMIT HAS BEEN ISSUED**
- Final: Upon completion of building.

Note: Inspections will be conducted within 2 business days from receipt of notice and on assigned days. As the **property owner** you are required to ensure all inspections are complete and any deficiencies corrected if necessary.

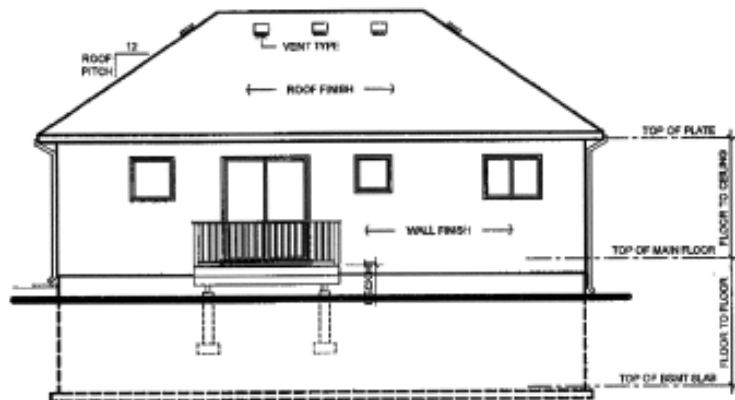
8) Revision to Construction Plans

Any changes to the approved plans must be reviewed by the Building Department prior to commencement of construction. There will be a Revision to permit fee of 100.00.

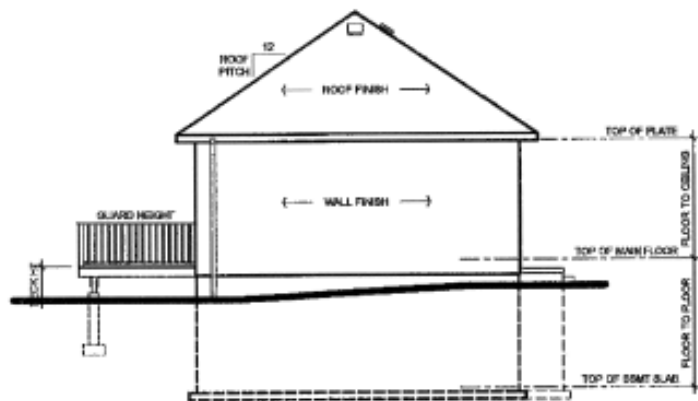
Sample Drawings – Dwelling Rear Elevation

NOTES:

- 1) ELEVATIONS TO BE DRAWN TO SCALE.
- 2) SPECIFY FINISHES OF ROOF, WALLS, ETC.
- 3) SHOW FOUNDATIONS AND FOOTINGS INCLUDING STEP FOOTINGS, DECK FOOTINGS, ETC.
- 4) SHOW ALL SLABS, DECKS, ETC. INCLUDING STAIRS, GUARDS AND HANDRAILS.
- 5) LABEL DRAWINGS.
- 6) INDICATE CHANGES TO DRAWINGS WITH REVISION CLOUDS AND PROVIDE REVISION DETAILS.



1 REAR ELEVATION
A-5 SCALE



2 SIDE ELEVATION
A-5 SCALE

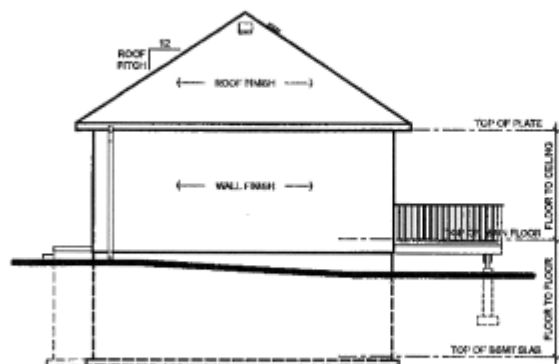
Sample Drawings – Dwelling Front Elevation

NOTES:

- 1) ELEVATIONS TO BE DRAWN TO SCALE.
- 2) SPECIFY FINISHES OF ROOF, WALLS, ETC.
- 3) SHOW FOUNDATIONS AND FOOTINGS INCLUDING STEP FOOTINGS, DECK FOOTINGS, ETC.
- 4) SHOW ALL SLABS, DECKS, ETC. INCLUDING STAIRS, GUARDS AND HANDRAILS.
- 5) LABEL DRAWINGS.
- 6) INDICATE CHANGES TO DRAWINGS WITH REVISION CLOUDS AND PROVIDE REVISION DETAILS.



1 FRONT ELEVATION
A-4 SCALE

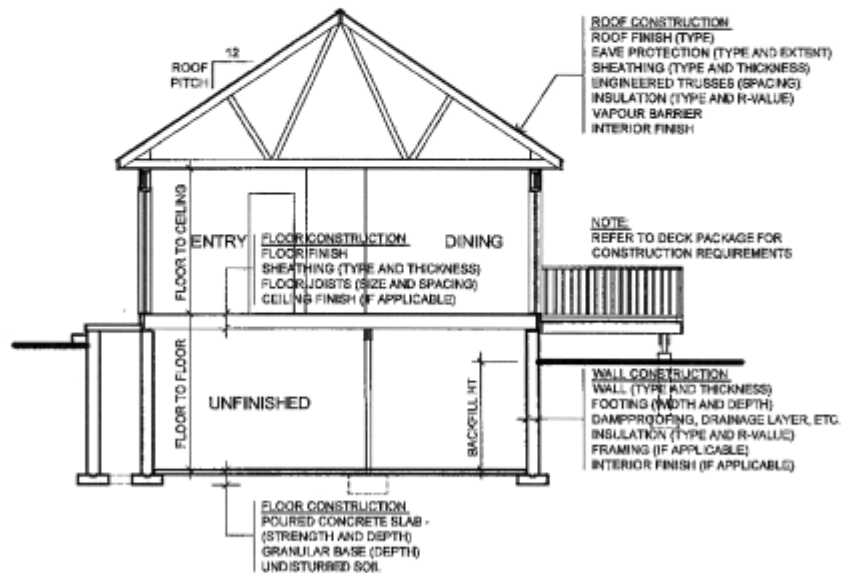


2 SIDE ELEVATION
A-4 SCALE

Sample Drawings – Dwelling Sections

NOTES:

- 1) SECTIONS TO BE DRAWN TO SCALE.
- 2) SPECIFY FOUNDATION WALL TYPE, THICKNESS, CONCRETE STRENGTH, ETC. FOUNDATION WALLS EXCEEDING 8'-2" IN UNSUPPORTED HEIGHT (TOP OF SLAB TO UNDERSIDE OF FLOOR JOISTS) ARE REQUIRED TO BE ENGINEERED.
- 3) SPECIFY FOOTING SIZES.
- 4) SPECIFY STRUCTURAL FRAMING INCLUDING WALLS, JOISTS, BEAMS, LINTELS, ETC.
- 5) SPECIFY WALL INSULATION TYPE, R-VALUE AND EXTENT OF COVERAGE.
- 6) INDICATE FLOOR CONSTRUCTION - ALL FLOORS.
- 7) INDICATE ROOF CONSTRUCTION.
- 8) SHOW FLOOR TO FLOOR AND FLOOR TO CEILING DIMENSIONS.
- 9) DIMENSION BACKFILL HEIGHTS, ETC.
- 10) LABEL ROOMS AND SPACES.
- 11) INDICATE CHANGES TO DRAWINGS WITH REVISION CLOUDS AND PROVIDE REVISION DETAILS.

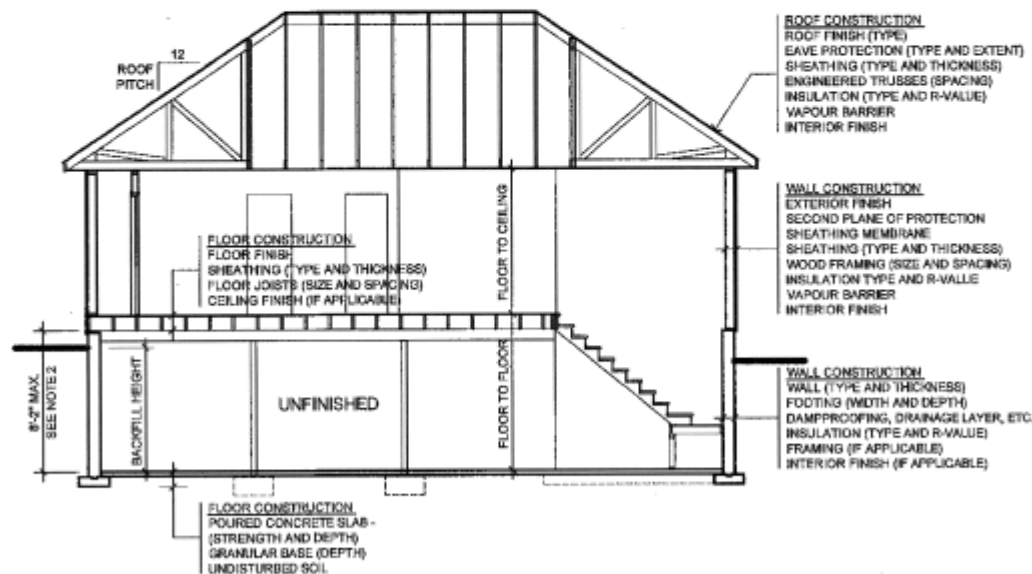


1 BUILDING SECTION
A-6 SCALE

Sample Drawings – Dwelling Sections

NOTES:

- 1) SECTIONS TO BE DRAWN TO SCALE.
- 2) SPECIFY FOUNDATION WALL TYPE, THICKNESS, CONCRETE STRENGTH, ETC. FOUNDATION WALLS EXCEEDING 8'-2" IN UNSUPPORTED HEIGHT (TOP OF SLAB TO UNDERSIDE OF FLOOR JOISTS) ARE REQUIRED TO BE ENGINEERED.
- 3) SPECIFY FOOTING SIZES.
- 4) SPECIFY STRUCTURAL FRAMING INCLUDING WALLS, JOISTS, BEAMS, LINTELS, ETC.
- 5) SPECIFY WALL INSULATION TYPE, R-VALUE AND EXTENT OF COVERAGE.
- 6) INDICATE FLOOR CONSTRUCTION - ALL FLOORS.
- 7) INDICATE ROOF CONSTRUCTION.
- 8) SHOW FLOOR TO FLOOR AND FLOOR TO CEILING DIMENSIONS.
- 9) DIMENSION BACKFILL HEIGHTS, ETC.
- 10) LABEL ROOMS AND SPACES.
- 11) INDICATE CHANGES TO DRAWINGS WITH REVISION CLOUDS AND PROVIDE REVISION DETAILS.

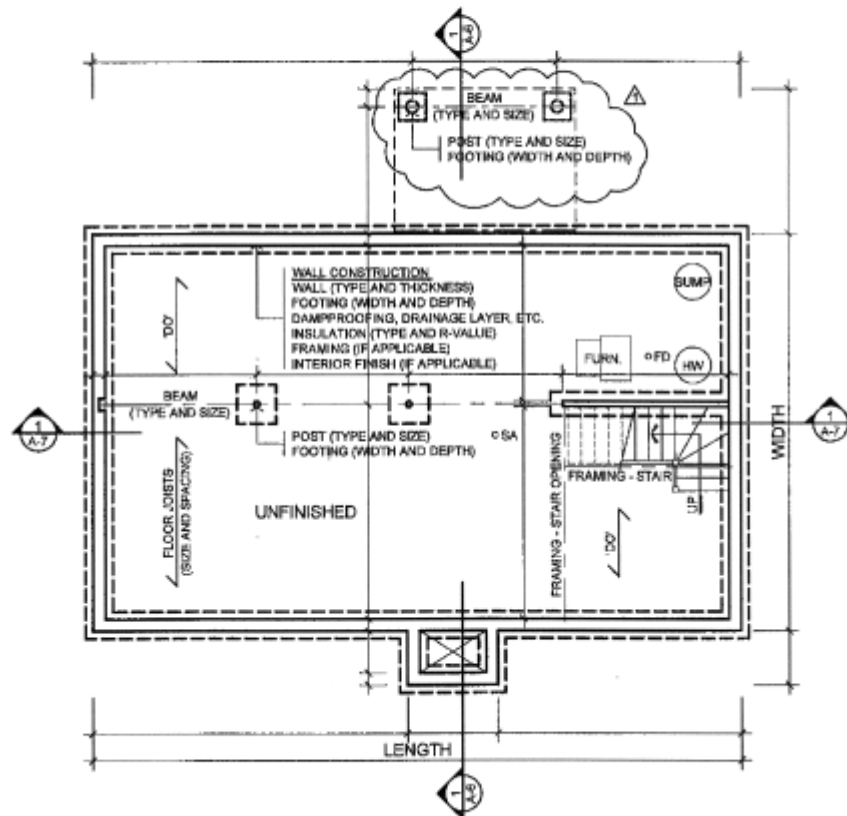


1 BUILDING SECTION
A-7 SCALE

Sample Drawing – Dwelling Foundation

NOTES:

- 1) PLANS TO BE DRAWN TO SCALE.
- 2) SPECIFY FOUNDATION WALL TYPE, THICKNESS, CONCRETE STRENGTH ETC. AND WALL OPENINGS.
- 3) SPECIFY PAD AND STRIP FOOTING SIZES.
- 4) SPECIFY STRUCTURAL FRAMING INCLUDING WALLS, JOISTS, BEAMS, LINTELS, ETC.
- 5) SPECIFY WALL INSULATION TYPE, R-VALUE AND EXTENT OF COVERAGE.
- 6) SHOW FRAMING AROUND FLOOR OPENINGS, ETC.
- 7) SHOW SECTION AND DETAIL MARKERS.
- 8) INDICATE LOCATION OF SMOKE ALARMS AND CARBON MONOXIDE DETECTORS.
- 9) SHOW AND DIMENSION INTERIOR WALLS.
- 10) LABEL ROOMS AND SPACES.
- 11) INDICATE CHANGES TO DRAWINGS WITH REVISION CLOUDS AND PROVIDE REVISION DETAILS.



1 FOUNDATION PLAN
A-2 SCALE

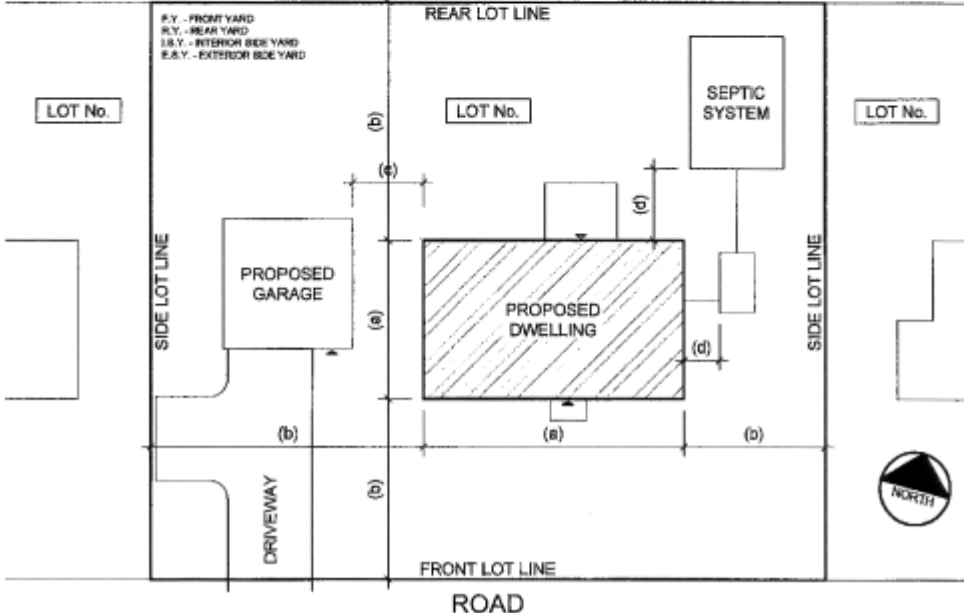
Sample Site Plan - Dwelling

NOTES:

- 1) SITE PLAN TO BE DRAWN TO SCALE.
- 2) ALL DIMENSIONS, ETC. TO BE SHOWN IN METRIC.
- 3) INCLUDE ALL LOT LINES AND DIMENSIONS.
- 4) INDICATE ALL PROPOSED AND EXISTING BUILDINGS, DECKS, SEPTIC SYSTEM, ETC.
- 5) SHOW SIZE AND USE OF ALL PROPOSED AND EXISTING BUILDINGS.
- 6) SHOW SETBACKS TO PROPOSED AND EXISTING BUILDINGS, ETC.
- 7) SHOW EASEMENTS, RIGHT-OF-WAYS, OVERHEAD POWER LINES, ETC.

(a) LENGTH/WIDTH OF STRUCTURE
(b) SETBACK TO PROPERTY LINE
(c) CLEARANCE TO ADJACENT BUILDING
(d) CLEARANCE TO SEPTIC SYSTEM

SITE INFORMATION		
LOCATION:	MUNICIPAL ADDRESS	
LEGAL:	LOT No. PLAN No. CON. No. ETC.	
ZONING:	CURRENT ZONING OF PROPERTY	
	REQUIRED	PROVIDED
LOT AREA		
G.F.A. DWELLING ACCESSORY BLDG.		
LOT COVERAGE (%)		
SETBACKS		
F.Y. DWELLING ACCESSORY BLDG.		
R.Y. DWELLING ACCESSORY BLDG.		
I.S.Y. DWELLING ACCESSORY BLDG.		
E.S.Y. DWELLING ACCESSORY BLDG.		
No. OF STOREYS		
BLDG. HEIGHT		



F.Y. - FRONT YARD
 R.Y. - REAR YARD
 I.S.Y. - INTERIOR SIDE YARD
 E.S.Y. - EXTERIOR SIDE YARD

LOT No. LOT No. LOT No.

SIDE LOT LINE REAR LOT LINE SIDE LOT LINE

PROPOSED GARAGE PROPOSED DWELLING SEPTIC SYSTEM

DRIVEWAY

FRONT LOT LINE ROAD

NORTH

NOTE: All measurements must be accurate